

DEVELOPMENT APPLICATION

DUDLEY ROAD WHITEBRIDGE
SNL BUILDING CONSTRUCTIONS PTY LTD
AUGUST 2014

SMITH & TZANNES

DRAWING LIST

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DA-A-803	LAND USE ZONE BOUNDARY

BASIX REQUIREMENTS

The specification below will meet or exceed the nominated BASIX requirements.

LANDSCAPE: The development must plant indigenous or low water use planting for private landscaping where indicated on the landscape plans

HOT WATER: 6 star gas instantaneous hot water system must be installed to all dwellings.

VENTILATION: all bathrooms and kitchens to include minimum of one manually switched fan, ducted to facade or roof. All laundries to be natural ventilated

WATER RATING FOR FIXTURES:

- Showerheads: 3 star
- Toilet flushing systems: 4 star
- Kitchen taps: 4 star
- Bathroom taps: 4 star
- Dishwashers: 5 star

RAINWATER TANKS:
All water tanks to have landscape and toilets and pool connections. minimum water tank size for all dwellings is 3,000L.

LIGHTING
Dedicated artificial lighting (LED or FLUORESCENT only) must be installed to bedrooms, studies, kitchens, bathrooms, laundries, hallways, and living/dining rooms. Cooling system is ceiling fans in all living rooms and bedrooms which are zoned.

CLOTHES DRYING
The development must provide an outdoor clothes drying area to all dwellings.
Gas cooktops and electric ovens to be installed to all dwellings.

THERMAL REQUIREMENTS

EXTERNAL WALLS:
Brick veneer insulated with r2.0 bulk insulation
Party walls 250mm double brick walls
R2.0 insulation added to internal walls between garage and dwelling.
Solar Colour Absorbance <0.475-0.7

WINDOWS/DOORS
Aluminium standard single glazed windows with low-e glass $u=5.7$ shgc=0.47
Weather seals to all windows & doors
Metal garage door

FLOOR/CEILINGS
Slab on ground [no insulation]
250mm framed floor over garages in dwellings 1 R2.0 insulation
Framed floor with pb ceiling for first floor
Ceilings to have r2.5 bulk insulation

INTERNAL WALLS
Plasterboard internal walls with r1.5 insulation (where there is an Internal wall to a roof space insulated to r2.5)
Wall between garage and living spaces with R2.0 insulation added.

ROOF
Colour Absorbance: - 0.45-0.7
Roofs to have r1.0 air con blanket under metal sheet

FANS
Extraction fans to bathrooms with no external windows to have dampers

SELECTIONS LEGEND

REFER TO SELECTIONS SCHEDULE FOR MORE DETAIL

AD	ALUMINIUM FRAMED DOOR
AW	ALUMINIUM FRAMED WINDOW
B	BOLLARD
BA/L	BALUSTRADE TYPE #
BG	BOS GUTTER
BLK	BLACKWORK
BLK	BRICKWORK
CB	CORNER
CONC	CONCRETE
CFT	CERAMIC FLOOR TILE FINISH
CWT	CERAMIC WALL TILE FINISH
D	DOOR
DW	DISHWASHER
DP	DOWNPipe
EDB	ELECTRICAL DISTRIBUTION BOARD
EX	EXISTING
FB	FACE BRICK
FC	FIBRE CEMENT
FG	FIBRED GLASS
FL	FLASHING
FR	FIRE RATED
FW	FLOOR WASTE
FFL	FINISHED FLOOR LEVEL
FSL	FINISHED SLAB LEVEL
GD	GRADED DRAIN
GU	GUTTER
HR	HANDRAIL
HW	HOT WATER UNIT
LDY	LAUNDRY
MB	METER BOX
ML	METAL LOUVRES
MR#	METAL ROOF SHEET TYPE #
P	PAINT
PAV	PAVING
PB	PLASTER BOARD
PF	POOL FENCE
POLY	POLYURETHANE FINISH
MSC	MESH CAGE
REF	REFRIGERATOR
REN	RENDER
RL	RELATIVE LEVEL (TO AUSTRALIAN HEIGHT DATUM)
RWO	RAINWATER OUTLET
RWT	RAINWATER TANK
STD	SLIDING TIMBER DOOR
SG	STEEL GATE
SK	SKIRTING
SP	STONE PAVING
TFW	TIMBER FRAMED WINDOW
TRG	TRANSLUCENT GLAZING (OBSCURE)
VP	VENT PIPE
WM	WASHING MACHINE
WS	WHEEL STOP

General Notes

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NOTES

STATUS

FOR DA

REVISION B 16-12-2014

STAGE

DEVELOPMENT APPLICATION

PROJECT

DUDLEY ROAD WHITEBRIDGE

142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT
SNL BUILDING CONSTRUCTIONS PTY LTD
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BUILDING DESIGN

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P 02 9516 2022 E email@smithtzannes.com

smithzannes.com.au
Nominated Architect: Peter Smith [Reg 7024]





1 SITE PLAN
1:500

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DOCUMENT

SITE PLAN

STATUS

FOR DA

REVISION I 15-06-2015

STAGE

DEVELOPMENT APPLICATION

PROJECT

DUDLEY ROAD WHITEBRIDGE
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

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DEVELOPMENT SUMMARY

SITE AREA	2.439ha
SITE COVERAGE	11894 / 24390 49%
SITE COVERAGE (EXC. CONSERVATION ZONE)	11894 / 21029 57%
NET DENSITY	91 / 2.09 ha 43 dwellings / ha
GROSS DENSITY	91 / 2.44ha 37 dwellings / ha

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BUILDING DESIGN

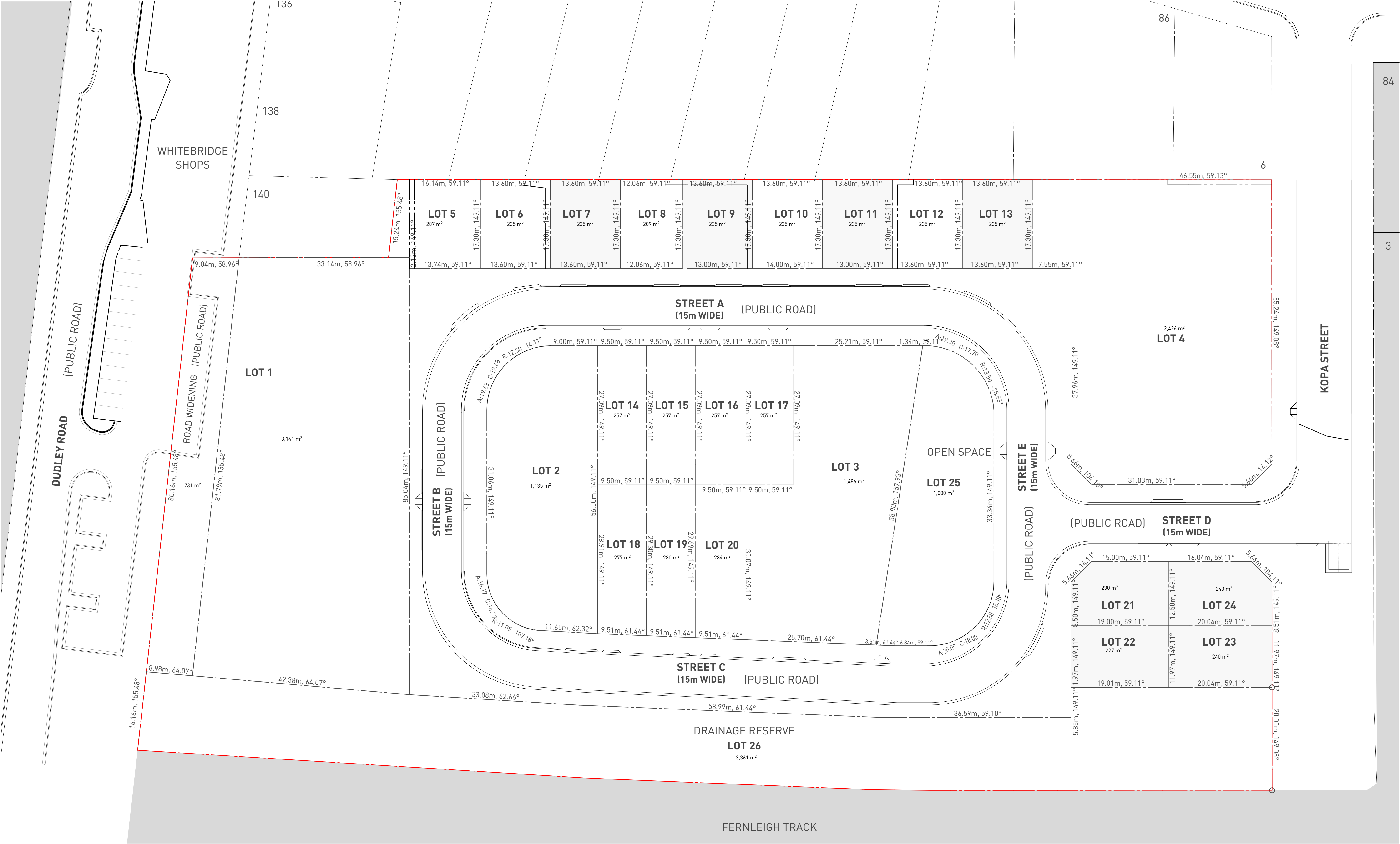
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1 SUBDIVISION PLAN
1:350

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10
OVER SCALE - SHEET SIZE A1
100 - 1:500
200 - 1:250
300 - 1:200

DOCUMENT

SUBDIVISION PLAN

STATUS

FOR DA

REVISION G 09-06-2015

STAGE

DEVELOPMENT APPLICATION

PROJECT

DUDLEY ROAD WHITEBRIDGE
142-146 DUDLEY ROAD & 2-4 KOPA STREET WHITEBRIDGE

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- A NEW STREET TREE PLANTING TO KOPA STREET AND KOPA STREET EXTENSION
- B ALL STREETS TO BE 'PUBLIC STREETS'
- C NEW CENTRAL PARK WITH OPEN SPACE AND PLAY EQUIPMENT
- D NEW CYCLEWAY AND PEDESTRIAN PATH LINKING THE FERNLEIGH TRACK WITH KOPA STREET
- E NEW PUBLIC SPACE AT END OF WHITEBRIDGE SHOPS
- F LANEWAY PROVIDING ACCESSIBLE PATH OF TRAVEL AND LINK BETWEEN RESIDENTIAL AREA AND SHOPS
- G RETAIL AND COMMERCIAL FRONTING DUDLEY ROAD
- H APARTMENT BUILDING WITH VIEWS ORIENTED TOWARDS FERNLEIGH TRACK AND OPEN SPACE
- I MAISONNETTE APARTMENTS
- J TOWNHOUSES WITH PRIVATE GARAGES IN BASEMENT
- K SEMI-DETACHED DWELLING
- L SPLIT LEVEL DWELLINGS
- M PARK SIDE VILLAS

1 SITE PLAN

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DOCUMENT
ILLUSTRATIVE MASTERPLAN

STATUS
FOR DA

REVISION | 15-06-2015

STAGE
DEVELOPMENT APPLICATION

PROJECT
DUDLEY ROAD WHITEBRIDGE
142-146 DUDLEY ROAD & 2-4 KOPA STREET WHITEBRIDGE

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CONTINUED ON DA-A-014

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DOCUMENT
KOPA STREET SITE PLAN

STATUS
FOR DA

REVISION G 15-06-2015

STAGE
DEVELOPMENT APPLICATION

PROJECT
DUDLEY ROAD WHITEBRIDGE
142-146 DUDLEY ROAD & 2-4 KOPA STREET WHITEBRIDGE

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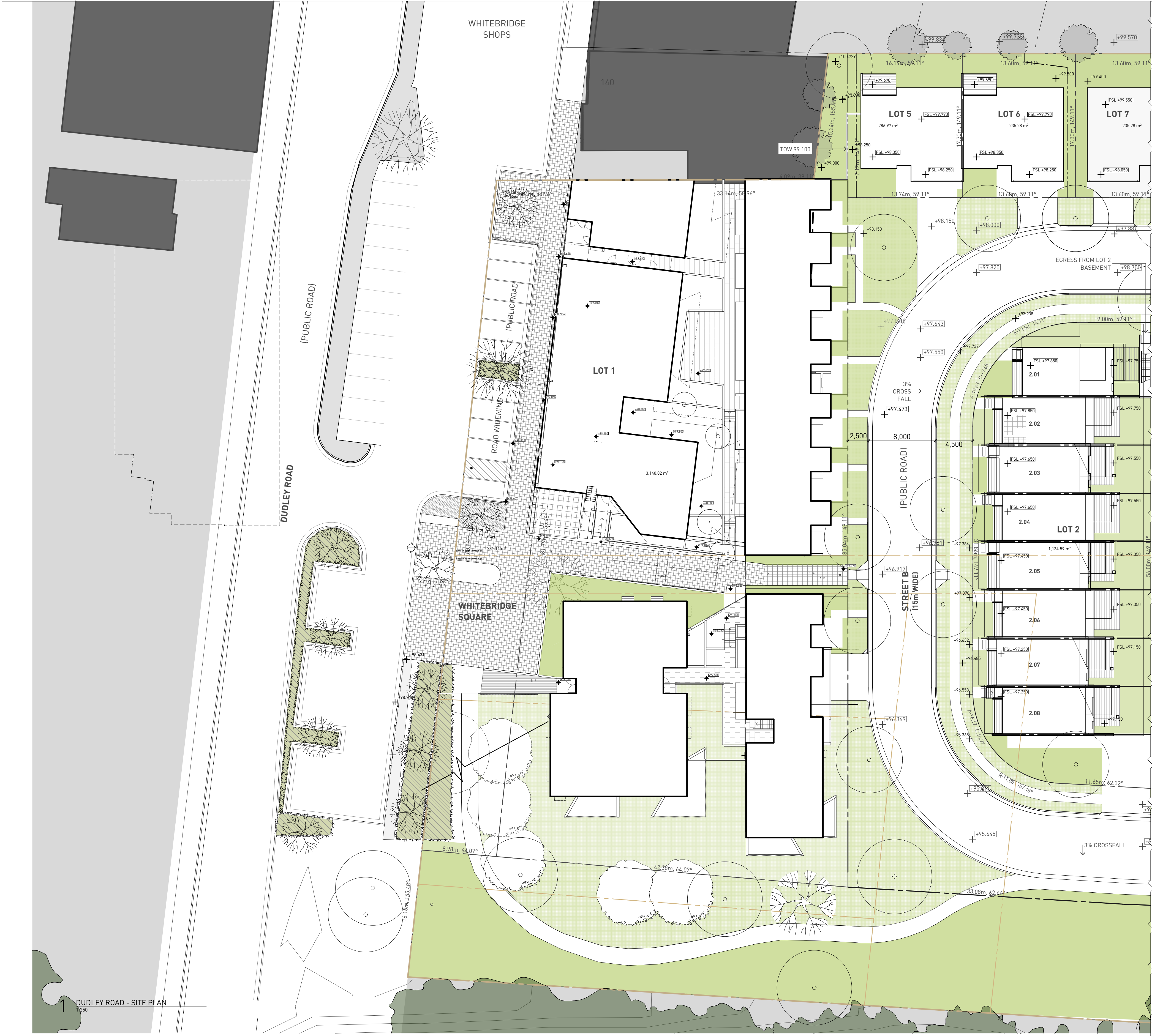
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SMITH & TZANNES

14_026 DA-A-014



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DOCUMENT
DUDLEY ROAD SITE PLAN

STATUS
FOR DA

REVISION F 15-06-2015

STAGE
DEVELOPMENT APPLICATION

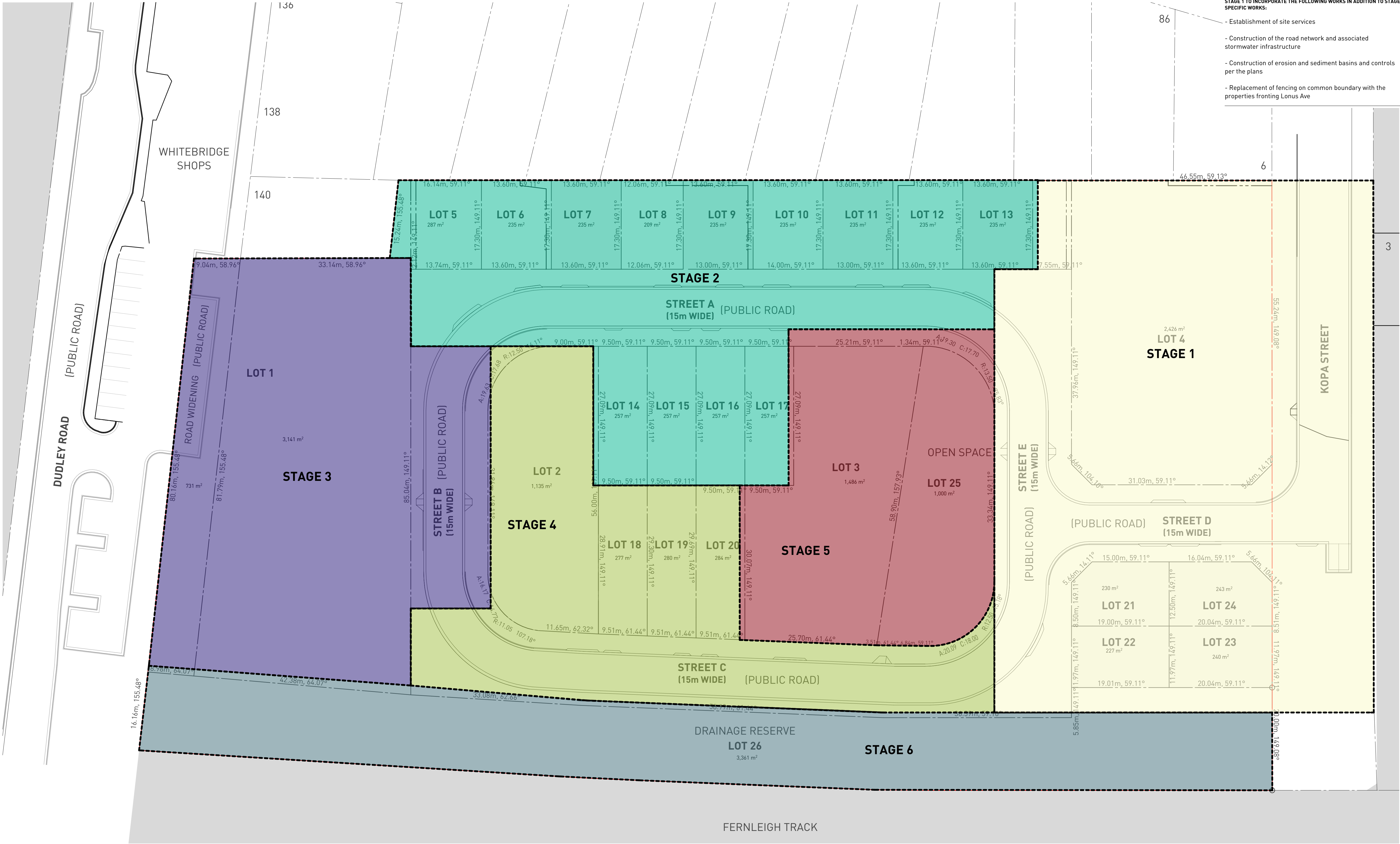
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DUDLEY ROAD WHITEBRIDGE
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

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- STAGE 1 TO INCORPORATE THE FOLLOWING WORKS IN ADDITION TO STAGE SPECIFIC WORKS:
- Establishment of site services
 - Construction of the road network and associated stormwater infrastructure
 - Construction of erosion and sediment basins and controls per the plans
 - Replacement of fencing on common boundary with the properties fronting Lonus Ave

1 SUBDIVISION PLAN
1:350

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DOCUMENT

STAGING PLAN

STATUS

FOR DA

REVISION E 15-06-2015

STAGE

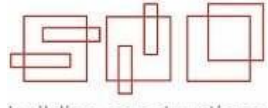
DEVELOPMENT APPLICATION

PROJECT

DUDLEY ROAD WHITEBRIDGE
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

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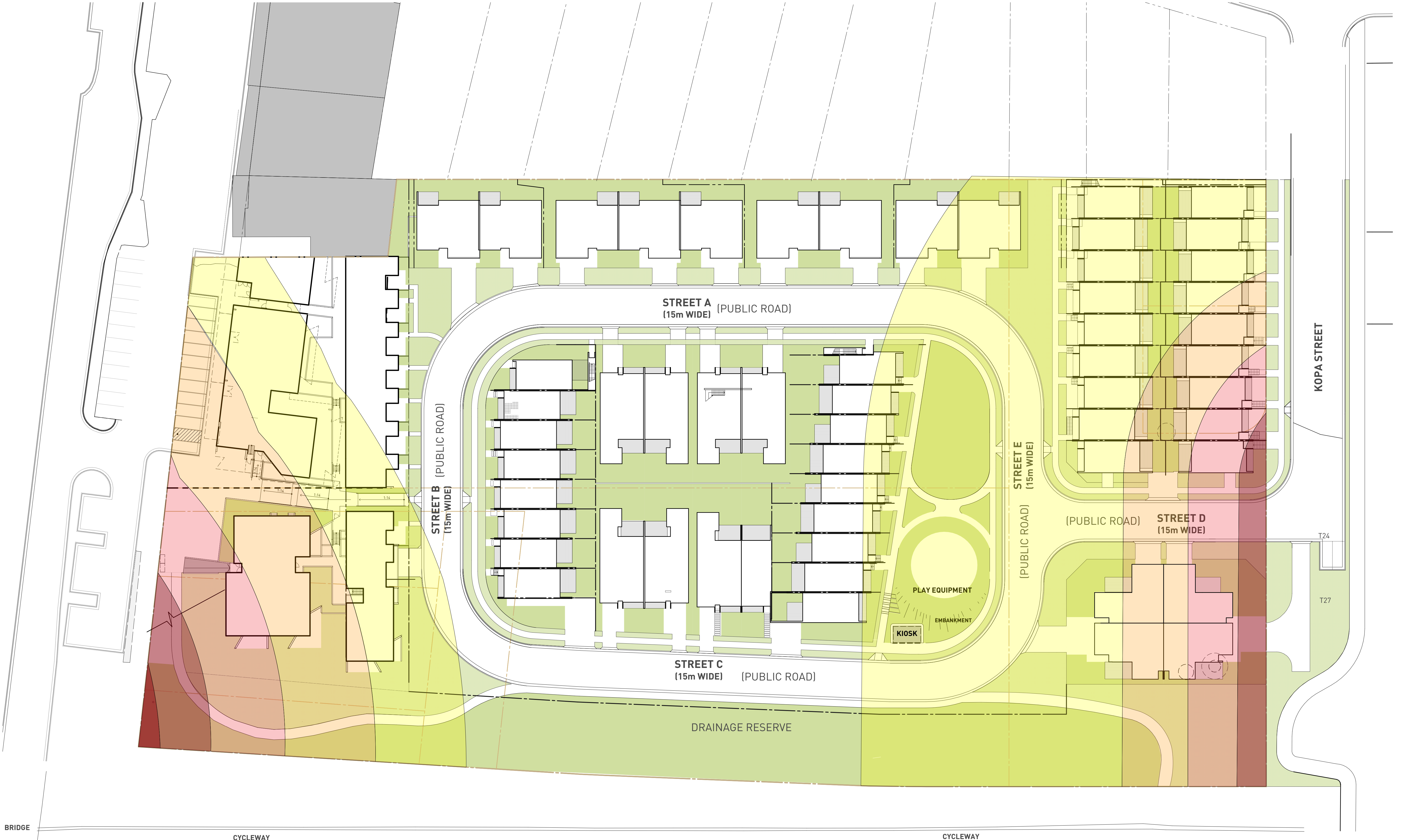
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BRIDGE

CYCLEWAY

CYCLEWAY

1 BAL PLAN
1:350

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10
OVER SCALE - SHEET SIZE A1
10m = 1:500
10m = 1:250
20m = 1:200

DOCUMENT
REQUIRED BAL PLAN

STATUS
FOR DA

REVISION B 15-06-2015

STAGE
DEVELOPMENT APPLICATION

PROJECT
DUDLEY ROAD WHITEBRIDGE
142-146 DUDLEY ROAD & 2-4 KOPA STREET WHITEBRIDGE

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building constructions

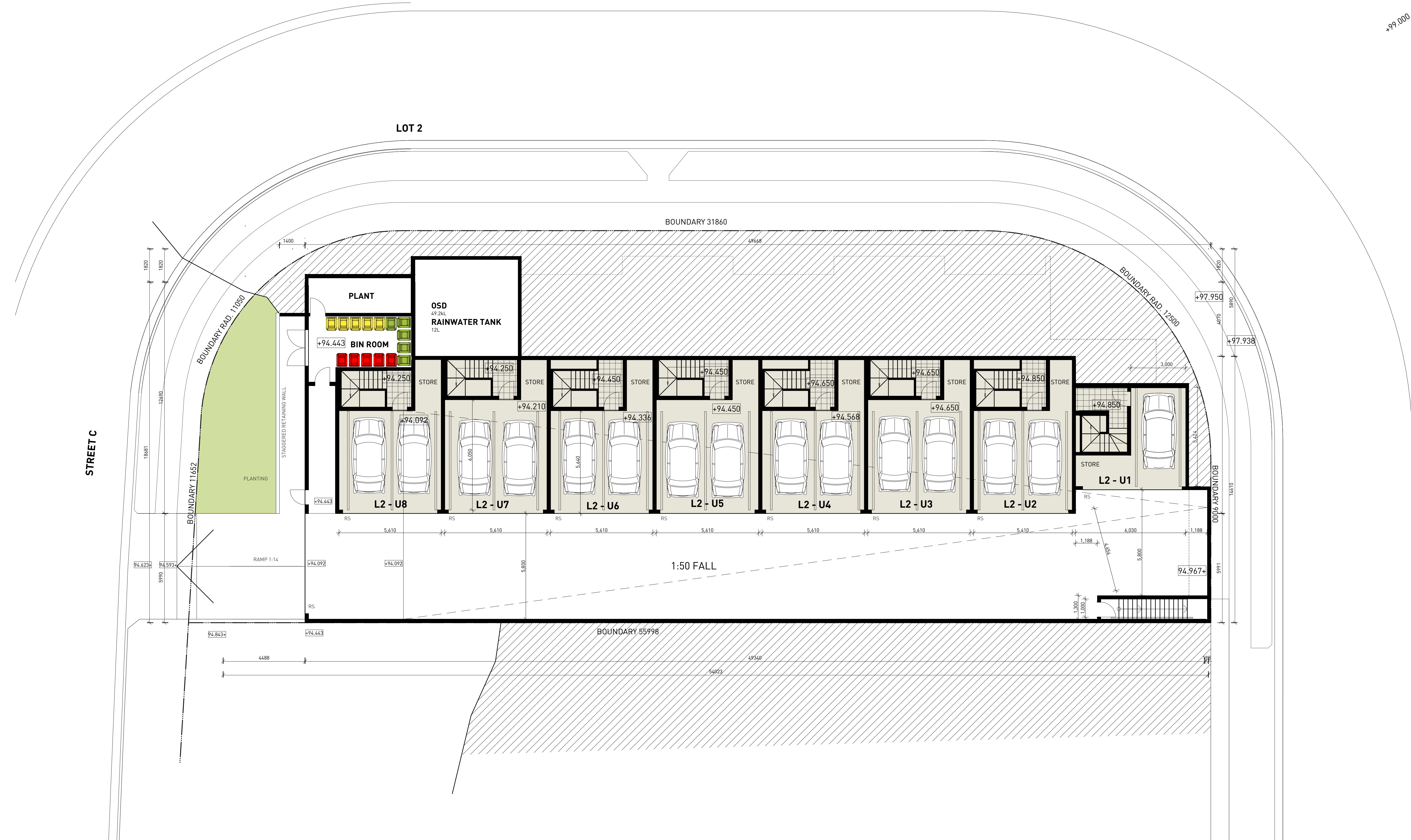
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Nominated Architect: Peter Smith (Reg 7024)

SMITH & TZANNES

14_026 DA-A-060



1 LOT 2 - LEVEL C1
1:100

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DOCUMENT

LOT 2 - LEVEL C1 PLAN

STATUS

FOR DA

REVISION D 11-02-2015

STAGE

DEVELOPMENT APPLICATION

PROJECT

MIXED USE DEVELOPMENT
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT

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MANSFIELD URBAN

glenn 11 14 urban design
10 spaces landscape architecture
people urban planning

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1 - LEVEL ROOF

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10
SHEET SCALE - SHEET SIZE A1
10m = 1:500
10m = 1:200
20m = 1:200



LOT 2 - ROOF PLAN

STATUS
FOR DA

REVISION C 11-02-2015

STAGE
DEVELOPMENT APPLICATION

PROJECT
MIXED USE DEVELOPMENT
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

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15m = 1:750
20m = 1:1000

DOCUMENT
LOT 3 - LEVEL C1 PLAN

STATUS

FOR DA

REVISION D 11-02-2015

STAGE

DEVELOPMENT APPLICATION

PROJECT

MIXED USE DEVELOPMENT
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT

SNL BUILDING CONSTRUCTIONS PTY LTD
22 Pendlebury Road, Cardiff NSW 2285
P 02 4954 8866 E wade@snlbuilding.com.au



LANDSCAPE ARCHITECTURE

MANSFIELD URBAN PTY LTD
5 Swan Street, Hinton NSW 2321
P 02 4930 5882
E mail@mansfieldurban.com.au

MANSFIELD URBAN

glenn + co
urban design
topspace
landscape architecture
people
urban planning

BUILDING DESIGN

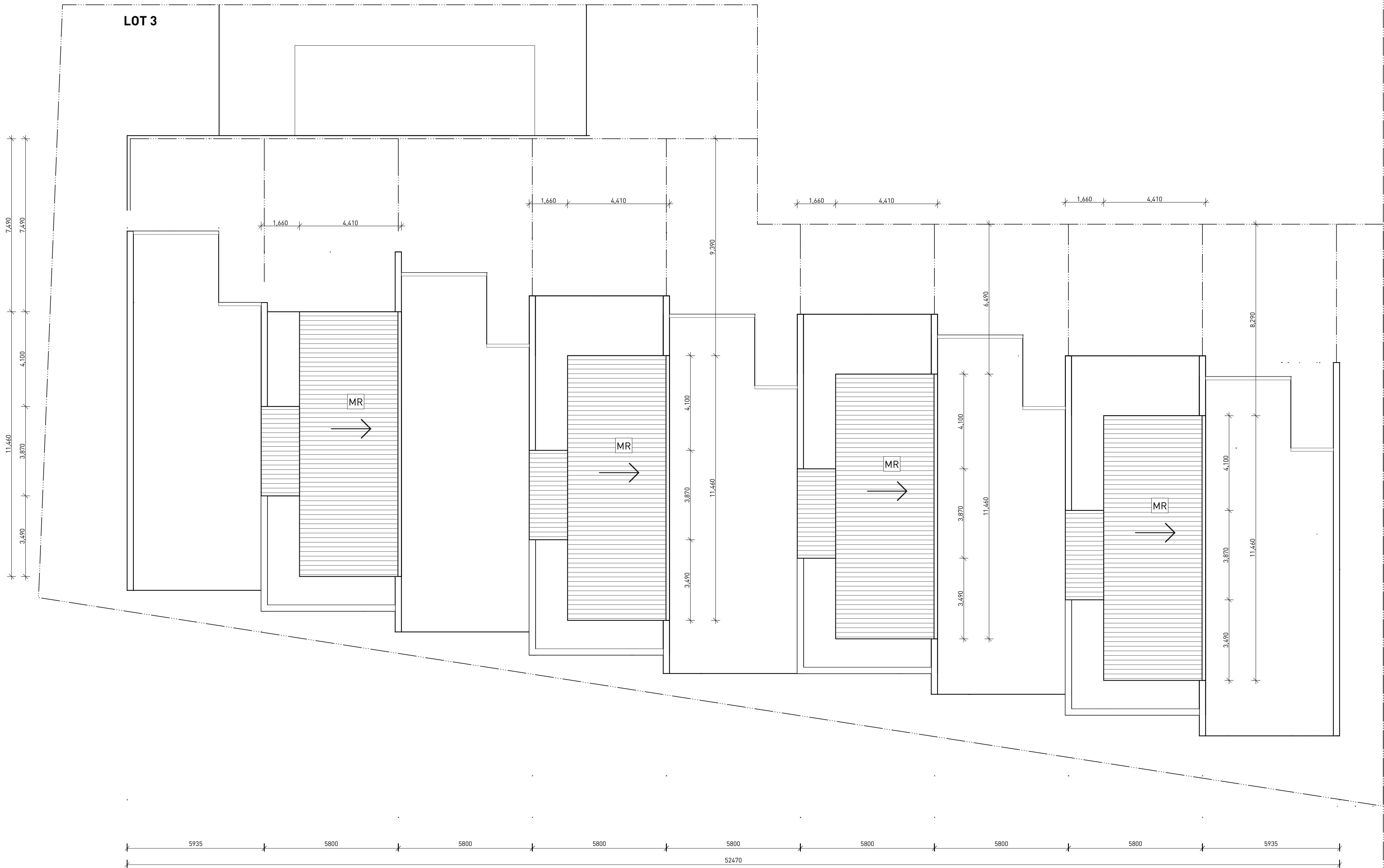
KIM GERRISH BUILDING DESIGN PTY LTD
PO Box 586, Kurri Kurri NSW 2327
P 02 4937 1529 E kim@kgbdesign.com.au



ARCHITECTURE URBAN PLANNING

ABN 96 142 020 693
M1/147 McEvoy St Alexandria NSW 2015
P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)





1 LOT 3 - ROOF PLAN
1:100

General Notes

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DOCUMENT

LOT 3 - ROOF PLAN

STATUS

FOR DA

REVISION C 11-02-2015

STAGE

DEVELOPMENT APPLICATION

PROJECT

MIXED USE DEVELOPMENT
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT

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LANDSCAPE ARCHITECTURE

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BUILDING DESIGN

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P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)



STREET D

STREET E



1 LOT 4 - LEVEL C1
1:100

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DOCUMENT
LOT 4 - LEVEL C1 PLAN

STATUS

FOR DA

REVISION E 20-02-2015

STAGE

DEVELOPMENT APPLICATION

PROJECT

MIXED USE DEVELOPMENT
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT

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BUILDING DESIGN

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PO Box 386, Kurri Kurri NSW 2327
P 02 4937 1529 E kim@kgbdesign.com.au

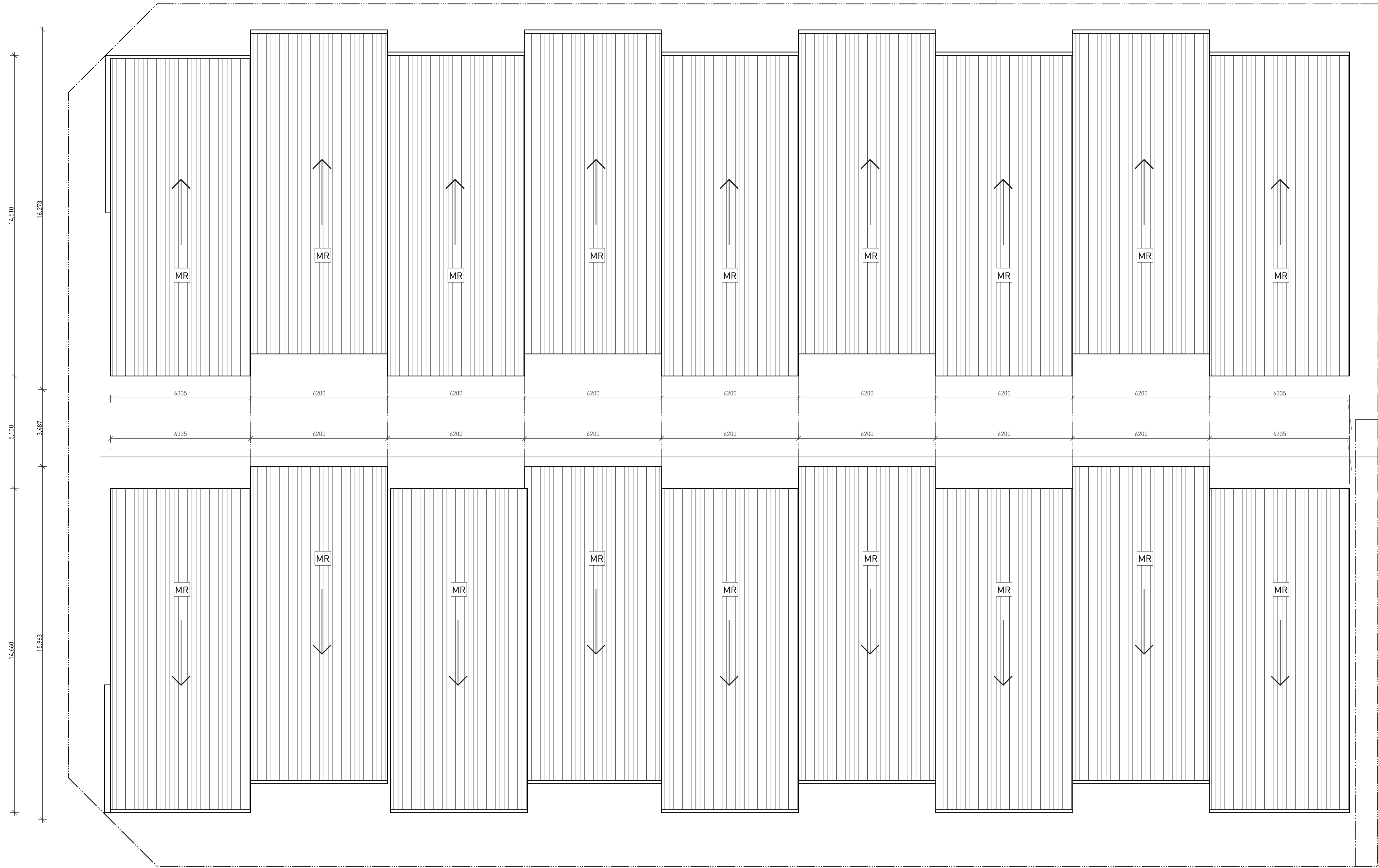


ARCHITECTURE URBAN PLANNING

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smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)



14_026 DA-A-116



1 LOT 4 - ROOF PLAN

General Notes

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DOCUMENT

LOT 4 - ROOF PLAN

STATUS

FOR DA

REVISION C 11-02-2015

STAGE

DEVELOPMENT APPLICATION

PROJECT

MIXED USE DEVELOPMENT
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT

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LANDSCAPE ARCHITECTURE

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BUILDING DESIGN

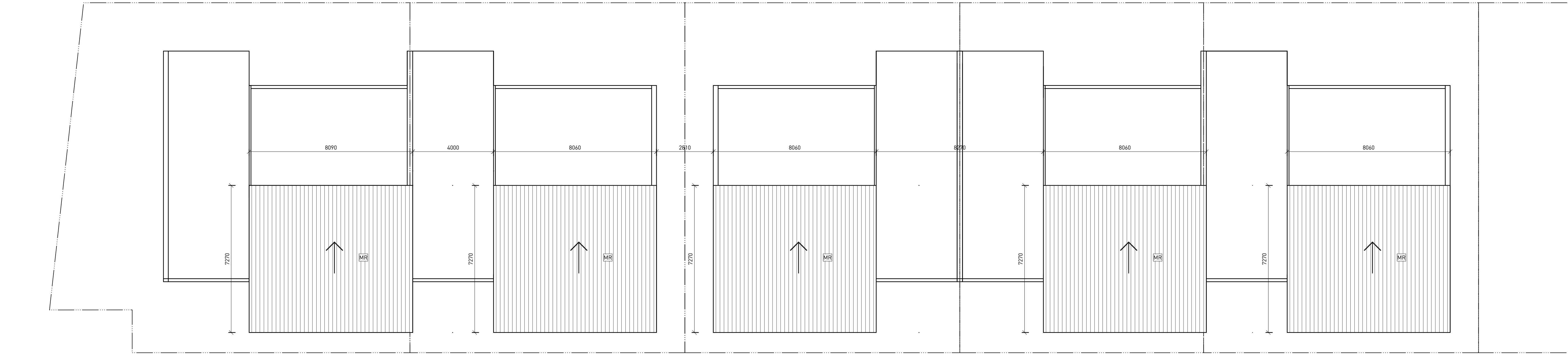
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P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)





1 LOT 5-9 - ROOF PLAN
1:100

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10
SHEET SCALE - SHEET SIZE A1
10m = 1:500
15m = 1:750
20m = 1:1000

DOCUMENT
LOT 5-9 - ROOF PLAN

STATUS

FOR DA

REVISION C 11-02-2015

STAGE

DEVELOPMENT APPLICATION

PROJECT
MIXED USE DEVELOPMENT
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT
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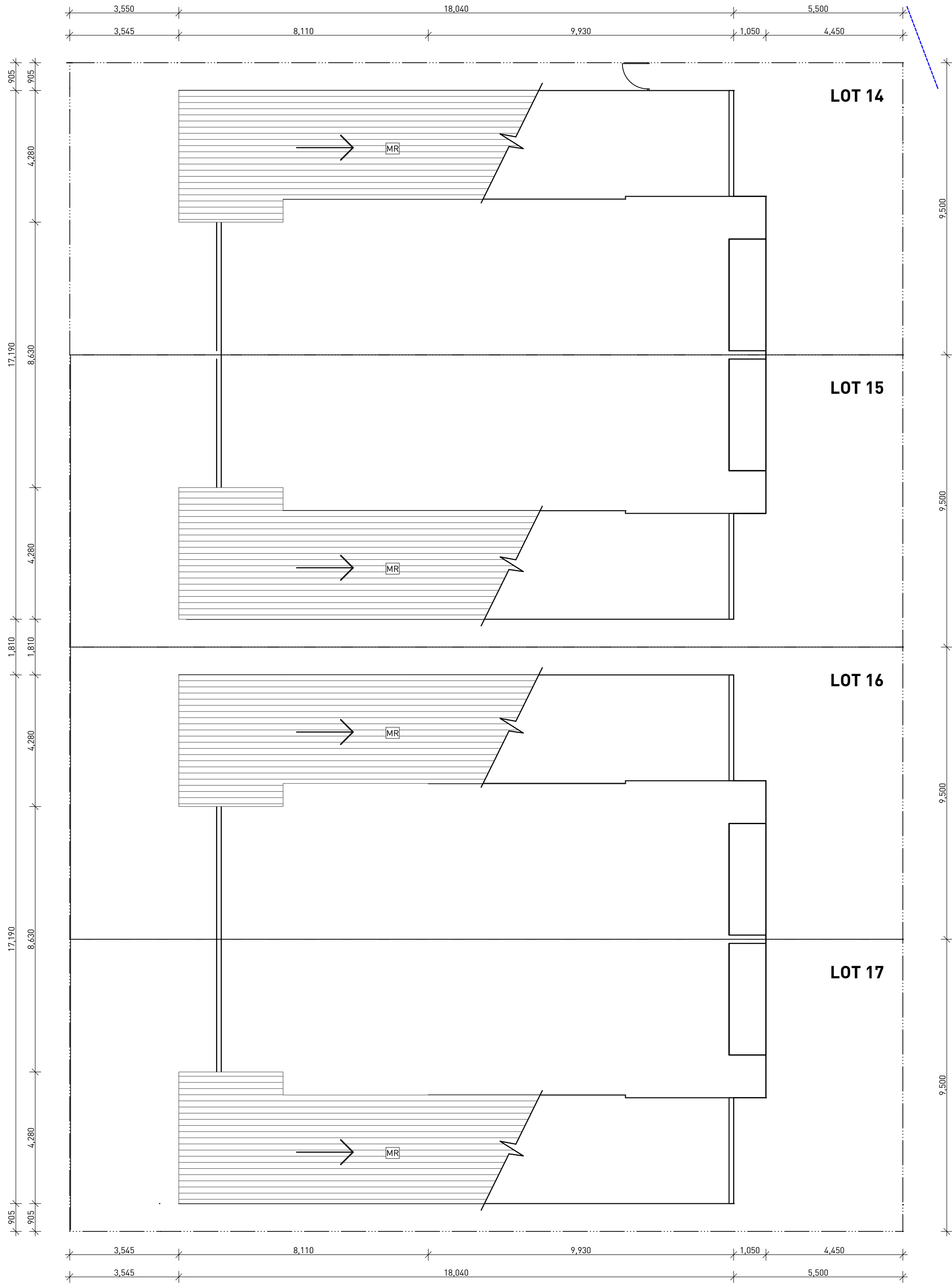


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P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)





1 LOT 14-17 - ROOF PLAN
1:100

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10
SHEET SCALE: SHEET SIZE A1
10m = 1:500
20m = 1:200
20m = 1:200

DOCUMENT
LOT 14-17 - ROOF PLAN

STATUS

FOR DA

REVISION C 11-02-2015

STAGE

DEVELOPMENT APPLICATION

PROJECT

MIXED USE DEVELOPMENT
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT

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BUILDING DESIGN

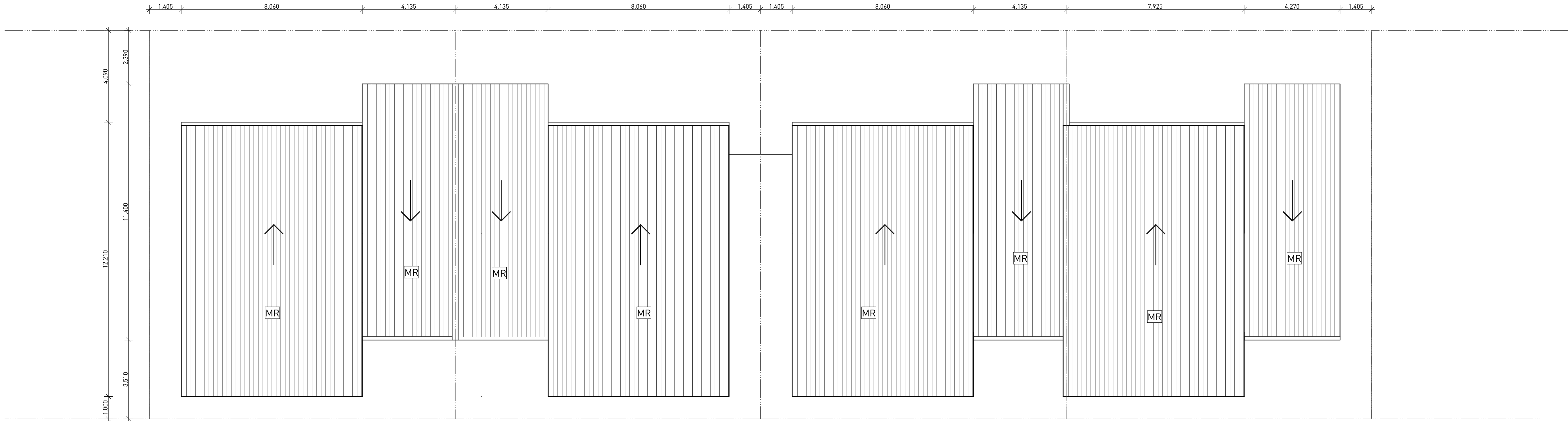
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P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)





1 LOT 10-13 - ROOF PLAN
1:100

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DOCUMENT

LOT 10-13 - ROOF PLAN

STATUS

FOR DA

REVISION C 11-02-2015

STAGE

DEVELOPMENT APPLICATION

PROJECT

MIXED USE DEVELOPMENT
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT

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BUILDING DESIGN

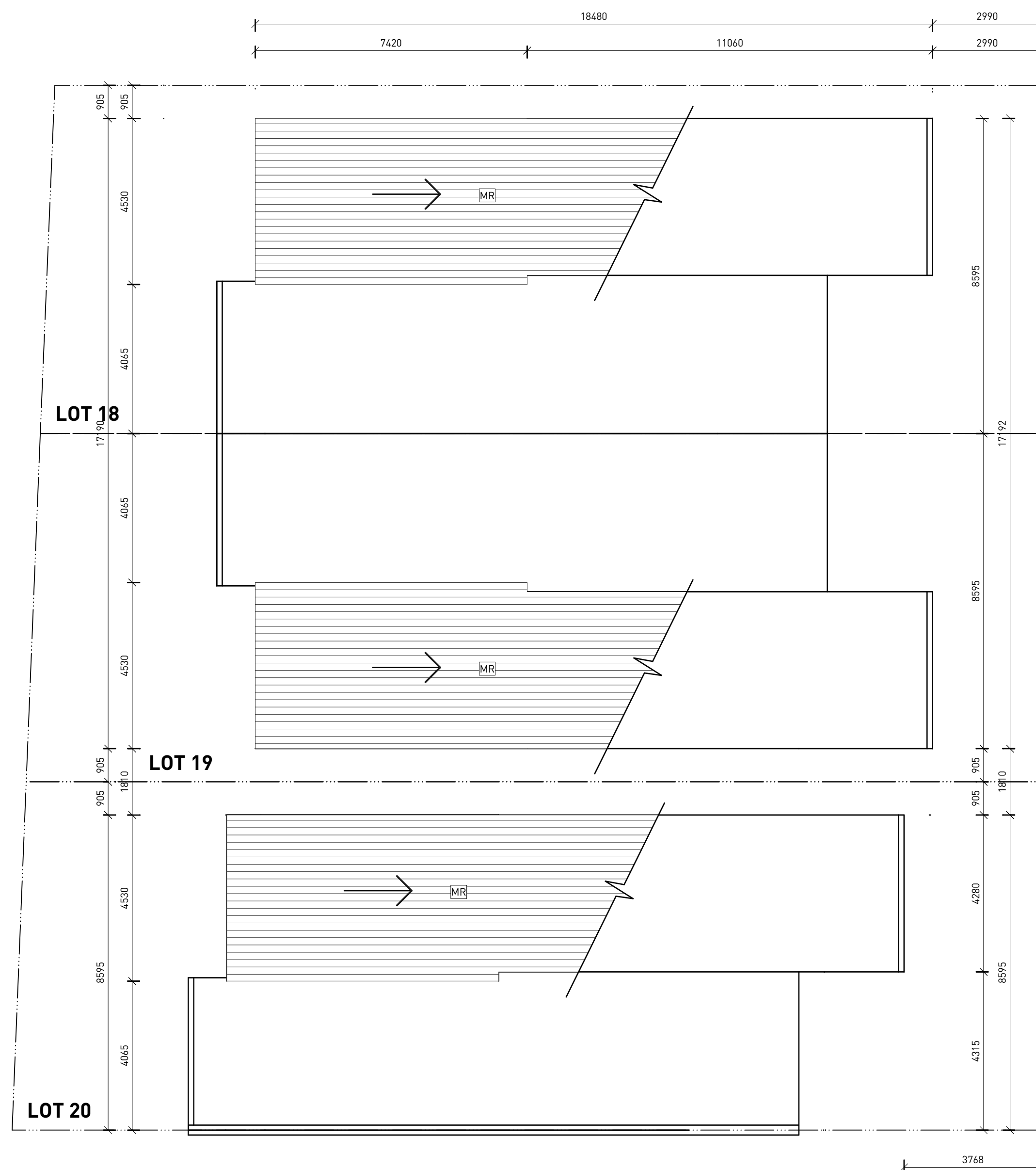
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P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)





1 LOT 18-20 - LEVEL 1
1:100

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DOCUMENT

LOT 18-20 - ROOF PLAN

STATUS

FOR DA

REVISION C 11-02-2015


STAGE

DEVELOPMENT APPLICATION

PROJECT

MIXED USE DEVELOPMENT
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT
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 P 02 9516 2022 E email@smithtznannes.com.au
 smithtznannes.com.au
 Nominated Architect: Peter Smith [Reg 7024]

ELD URBAN 

spaces 
landscape architecture

people 
urban planning

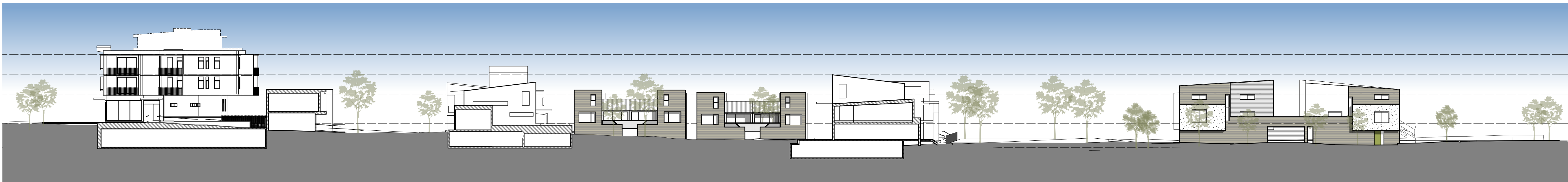
Kim Gerrish
BUILDING DESIGN PTY LTD



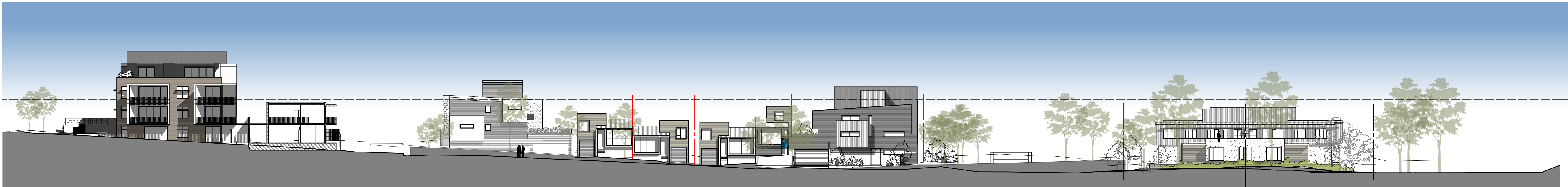
14_026 DA-A-127



1 STREET A SECTION
1:350



2 STREET D TO WHITEBRIDGE SQ.
1:350



3 FERNLEIGH TRACK ELEVATION
1:350

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DOCUMENT

FULL SITE SECTIONS

STATUS

FOR DA

REVISION B 12-12-2014

STAGE

DEVELOPMENT APPLICATION

PROJECT

DUDLEY ROAD WHITEBRIDGE
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT

SNL BUILDING CONSTRUCTIONS PTY LTD
22 Pendlebury Road, Cardiff NSW 2285
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LANDSCAPE ARCHITECTURE

MANSFIELD URBAN PTY LTD
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BUILDING DESIGN

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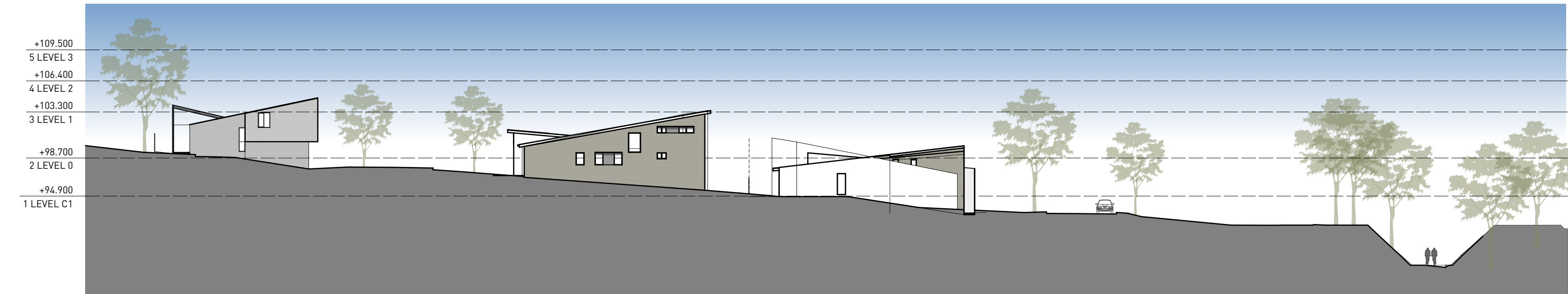
ARCHITECTURE URBAN PLANNING

ABN 96 142 020 693
M1/147 McEvoy St Alexandria NSW 2015
P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)





1 STREET B SECTION
1:350



2 CROSS SECTION 2
1:350



3 SECTION STREET E
1:350



4 KOPA STREET SECTION
1:350

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DOCUMENT

FULL SITE SECTIONS

STATUS

FOR DA

REVISION B 12-12-2014

STAGE

DEVELOPMENT APPLICATION

PROJECT

DUDLEY ROAD WHITEBRIDGE
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT

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ARCHITECTURE URBAN PLANNING

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M1/147 McEvoy St Alexandria NSW 2015
P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)





1 ELEVATION - DUDLEY ROAD (FRONT)
1:100



2 ELEVATION - DUDLEY ROAD (REAR)
1:100

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DOCUMENT
DUDLEY RD - APARTMENT ELEVS

STATUS
FOR DA

REVISION A 15-08-2014

STAGE
DEVELOPMENT APPLICATION

PROJECT
MIXED USE DEVELOPMENT
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT
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ARCHITECTURE URBAN PLANNING
ABN 96 142 020 693
M1/147 McEvoy St Alexandria NSW 2015
P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)



SELECTIONS LEGEND

REFER TO SELECTIONS SCHEDULE FOR MORE DETAIL

AD	ALUMINIUM FRAMED DOOR
AW	ALUMINIUM FRAMED WINDOW
B	BOLLARD
BAL#	BALUSTRADE TYPE #
BG	BOX GUTTER
BLK	BLOCKWORK
BK	BRICKWORK
CAR	CARPET
CONC	CONCRETE
CFT	CERAMIC FLOOR TILE FINISH
CWT	CERAMIC WALL TILE FINISH
D	DOOR
DW	DISHWASHER
DP	DOWNPIPE
EDB	ELECTRICAL DISTRIBUTION BOARD
EX	EXISTING
FB	FACE BRICK
FC	FIBRE CEMENT
FG	FIXED GLASS
FL	FLASHING
FR	FIRE RATED
FW	FLOOR WASTE
FFL	FINISHED FLOOR LEVE
FSL	FINISHED SLAB LEVEL
GD	GRATED DRAIN
GU	GUTTER
HR	HANDRAIL
HW	HOT WATER UNIT
LDY	LAUNDRY
MB	METER BOX
ML	METAL LOUVRES
MR#	METAL ROOF SHEET TYPE #
P	PAINT
PAV	PAVING
PB	PLASTERBOARD
PF	POOL FENCE
POLY	POLYURETHANE FINISH
MSC	MESH CAGE
REF	REFRIGERATOR
REN	RENDER
RL	RELATIVE LEVEL (TO AUSTRALIAN HEIGHT DATUM)
RWO	RAINWATER OUTLET
RWT	RAINWATER TANK
STD	SLIDING TIMBER DOOR
SG	STEEL GATE
SK	SKIRTING
SP	STONE PAVING
TW	TIMBER FRAMED WINDOW
TRG	TRANSLUCENT GLAZING [OBSCURE]
VP	VENT PIPE
WM	WASHING MACHINE
WS	WHEEL STOP



1 ELEVATION - DUDLEY ROAD (EAST)
1:100



STREET B ELEVATION

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DOCUMENT

DUDLEY RD - MAISONETTE ELEVS

STATUS

FOR DA

REVISION A 15-08-2014

STAGE

DEVELOPMENT APPLICATION

PROJECT

MIXED USE DEVELOPMENT
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT

SNL BUILDING CONSTRUCTIONS PTY LTD
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LANDSCAPE ARCHITECTURE

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BUILDING DESIGN

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ARCHITECTURE URBAN PLANNING

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smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)



14_026 DA-A-203



1 DUDLEY ROAD PUBLIC RAMP (WEST)
1:100

SELECTIONS LEGEND

REFER TO SELECTIONS SCHEDULE FOR MORE DETAIL

AD	ALUMINIUM FRAMED DOOR
AW	ALUMINIUM FRAMED WINDOW
B	BOLLARD
BAL#	BALUSTRADE TYPE #
BG	BOX GUTTER
BLK	BLOCKWORK
BK	BRICKWORK
CAR	CARPET
CONC	CONCRETE
CFT	CERAMIC FLOOR TILE FINISH
CWT	CERAMIC WALL TILE FINISH
D	DOOR
DW	DISHWASHER
DP	DOWNPIPE
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FSL	FINISHED SLAB LEVEL
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MB	METER BOX
ML	METAL LOUVRES
MR#	METAL ROOF SHEET TYPE #
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POLY	POLYURETHANE FINISH
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RWT	RAINWATER TANK
STD	SLIDING TIMBER DOOR
SG	STEEL GATE
SK	SKIRTING
SP	STONE PAVING
TW	TIMBER FRAMED WINDOW
TRG	TRANSLUCENT GLAZING [OBSCURE]
VP	VENT PIPE
WM	WASHING MACHINE
VS	WHEEL STOP



2 DUDLEY ROAD PUBLIC RAMP (EAST)
1:100

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DOCUMENT

DUDLEY RD - NW & SE ELEVS

STATUS

FOR DA

REVISION A 15-08-2014

STAGE

DEVELOPMENT APPLICATION

PROJECT

MIXED USE DEVELOPMENT
142-146 DUDLEY ROAD & 2-4 KOPA
STREET WHITEBRIDGE

CLIENT

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LANDSCAPE ARCHITECTURE

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ARCHITECTURE URBAN PLANNING

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Nominated Architect: Peter Smith (Reg 7024)

